

450 HANK AARON DRIVE

SAP APPLICATION

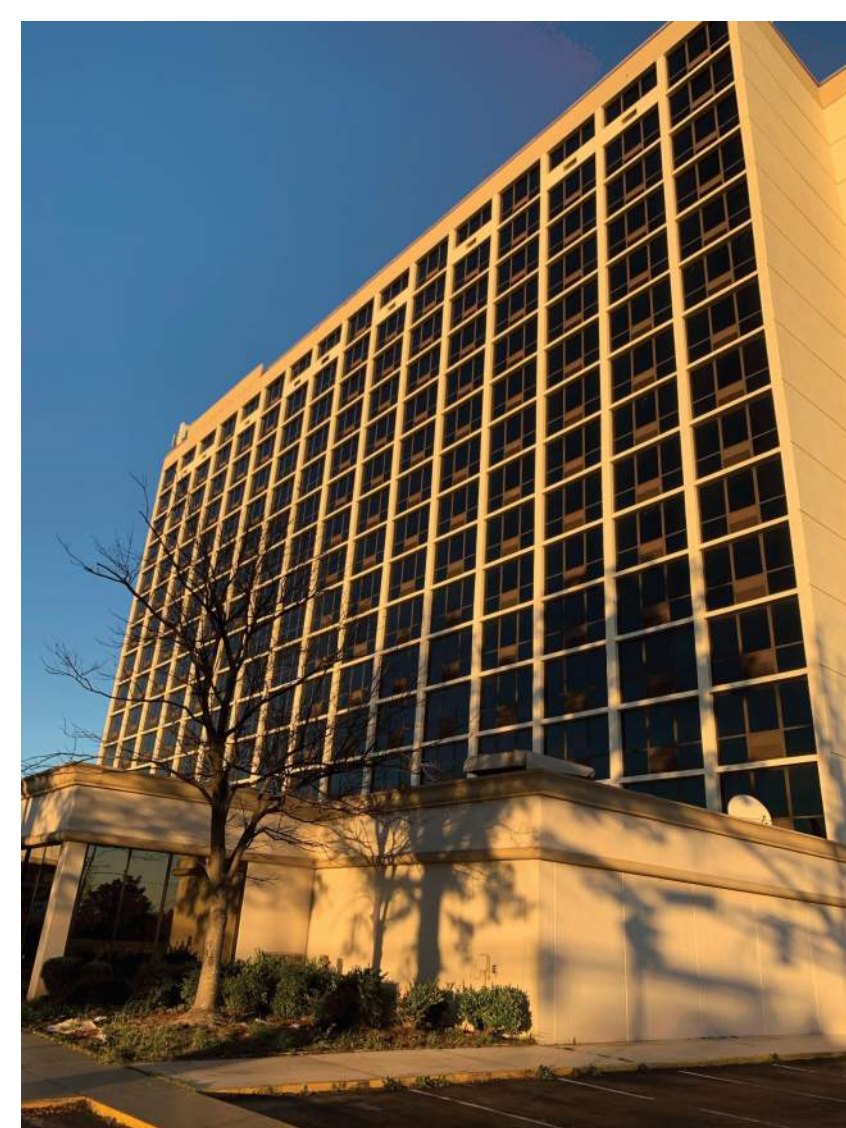
22 FEBRUARY 2021

square feet studio

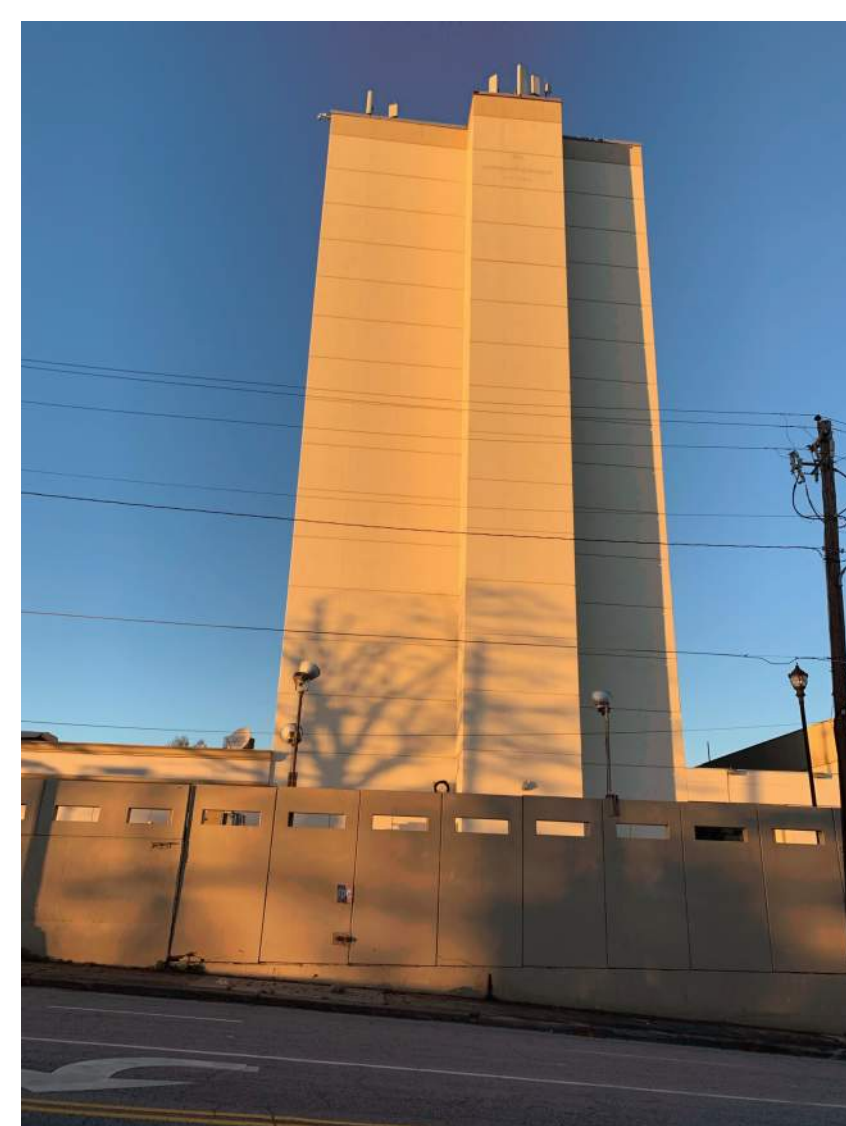
154 KROG STREET NE, N^o 170, ATLANTA, GA 30307



NORTH



WEST

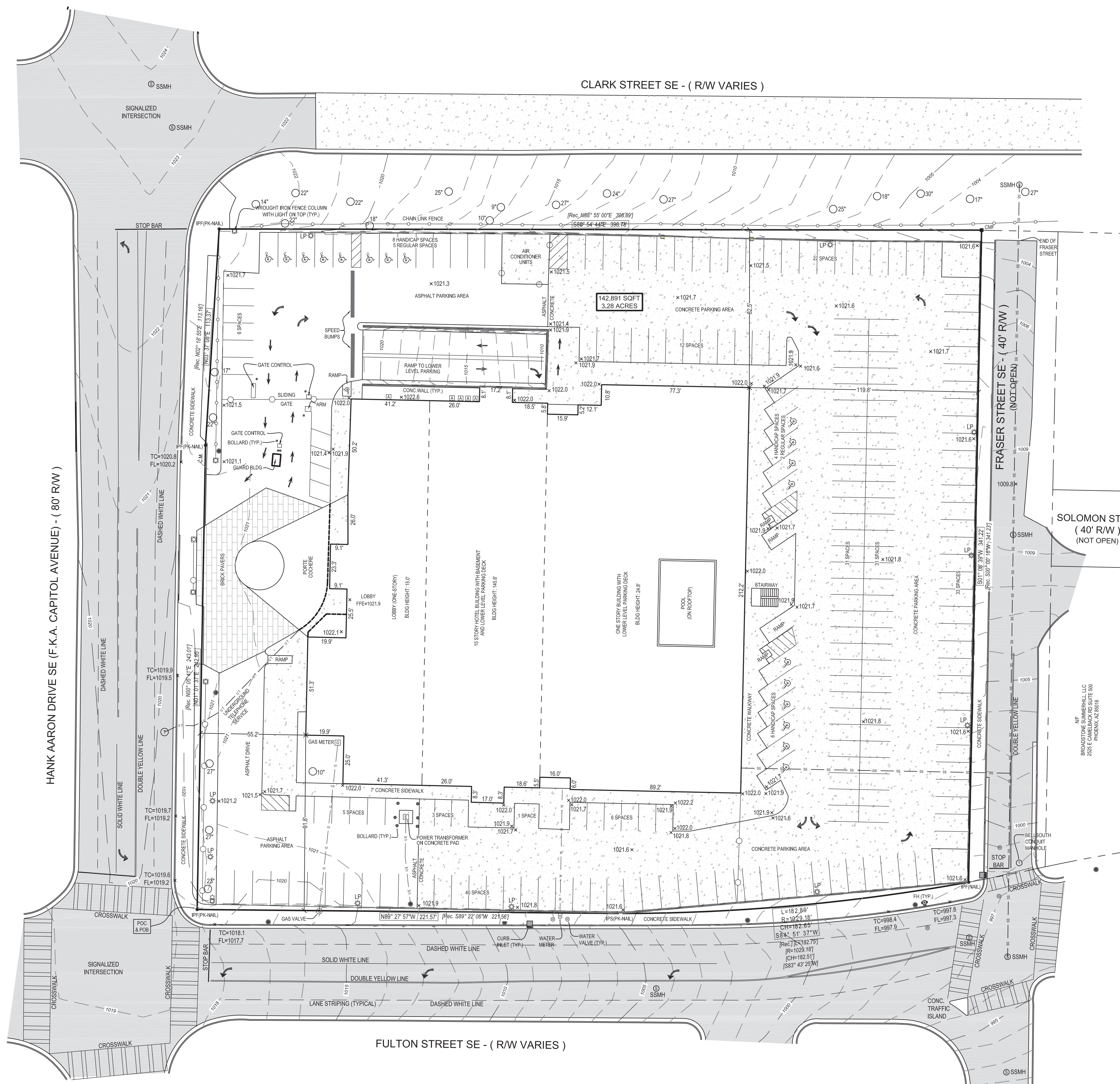


SOUTH



EAST

EXISTING ELEVATIONS



The 450 Hank Aaron Drive project involves the renovation and adaptive reuse of a former 15-story hotel into a mixed-use development featuring 249 apartment units, including a number of micro-studio apartments, and approximately 55,000 square feet of commercial tenant spaces on the ground and second levels.

The goal of the project is to reinhabit and reinvigorate the iconic and elegantly proportioned mid-century tower. At the same time, the project also addresses the issue of housing affordability in the city by offering micro apartment units - a strategy that has grown in popularity in other cities but is still new to the city of Atlanta. Having once enjoyed a front row seat to the lighting of the Olympic torch and decades of Atlanta Braves baseball, the building and site are ripe for new life as an anchor between downtown and the on-going redevelopment of Summerhill. The location of the site coupled with a reconfiguration of the ground floor podium into leasable commercial space, restaurants, a 13,000 SF food hall, music venue, and generous outdoor dining will form substantial amenities both for residents and the neighborhood. The second floor will feature daytime office use by way of a co-working space, as well as an amenity deck with a pool and clubhouse for residents and other members.

The primary architectural interventions for the project are focused on opening the edges of the site and building at the lower levels. Due to a combination of significant grade challenges and a ground level program that was historically internally focused (i.e. hotel amenities, ballrooms, convention and meeting spaces), the building currently faces away from its surroundings. At the site level, the strategy of reconnecting to the neighborhood will be achieved by removing the retaining wall at the corner of Capitol Avenue/Hank Aaron Drive and Fulton Street. Additionally, terracing the ground will mediate the grade and create a public amenity. Vehicular traffic will no longer be permitted in the southwest corner of the site, which will instead give way to public space and outdoor dining. The building will receive new openings and storefronts at the ground level along Capitol Avenue/Hank Aaron Drive and Fulton Street, with the food hall anchoring the corner and inviting commercial activity to permeate into and out of the building via multiple entry locations. An approximately 1,000 square foot addition will engage the corner public space by diagonally reaching into it. Above this volume, a second floor restaurant is proposed, which will include outdoor terrace dining. Finally, an existing ground floor corridor joining the first level of the tower with the former hotel ballrooms to the west will be unroofed, creating an outdoor commercial promenade with direct pedestrian links to the surrounding sidewalks; grade permitting. Outdoor dining and ordering windows will engage the promenade.

Parking for the commercial uses will be provided at the Capitol Avenue/Hank Aaron Drive level, while residential parking and loading will occur below the existing deck. The existing ramp connecting the two levels on the north side will be filled in to allow for additional outdoor pedestrian space associated with the new commercial spaces there. Two new entry and exit points are proposed along Frasier Street to allow secondary ingress/egress for both the deck and the lower residential parking.

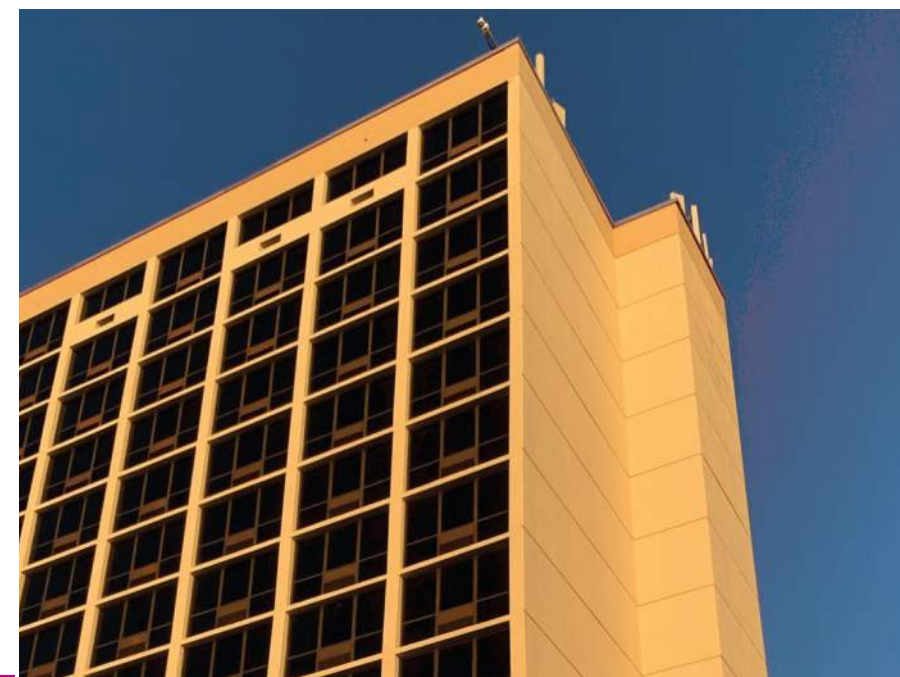
PROJECT SUMMARY



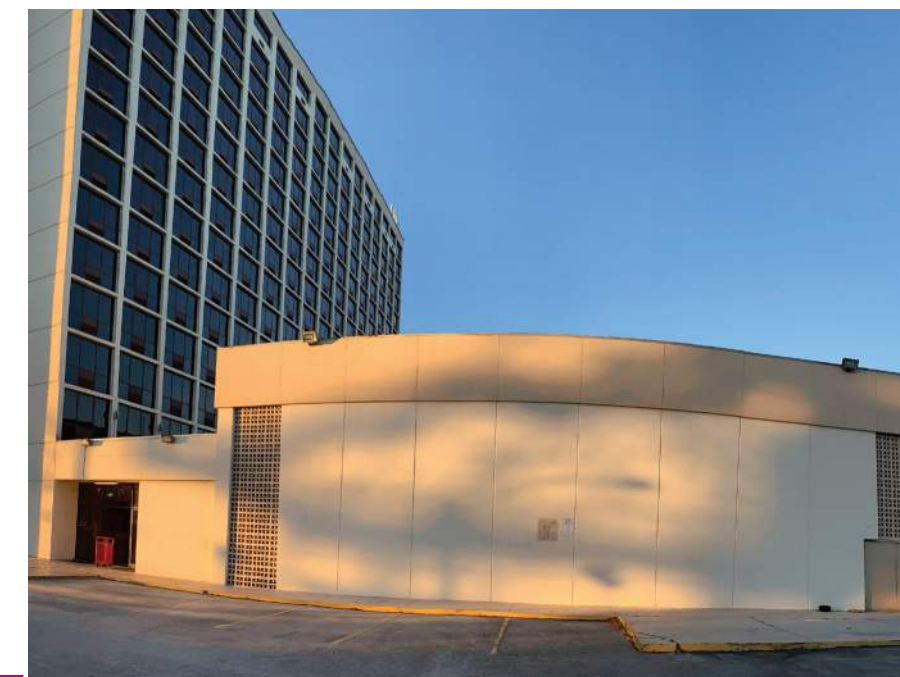
PORTE COCHERE / MOTOR COURT



VIEWS



CLASSIC MID-CENTURY FACADE



INTERNALIZED BALL ROOMS



POOL DECK



CORRIDOR LINKING TOWER TO BALLROOMS



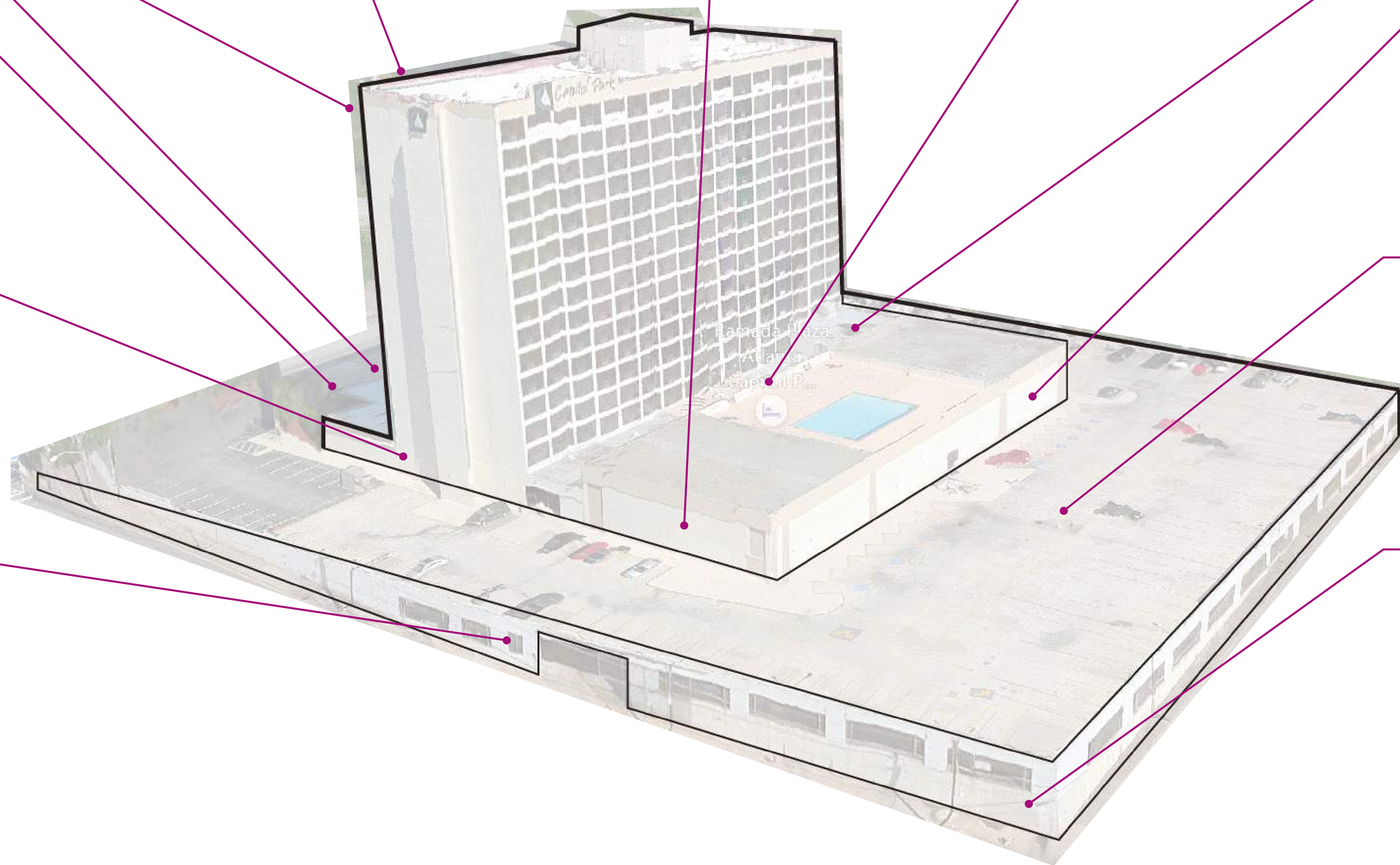
EXISTING STOREFRONT ON CAPITOL AVENUE



DEAD BUILDING WALLS



EXISTING LOADING



DEAD BALLROOM WALLS



EXISTING PARKING LOT



EXISTING PARKING LOT WALL

EXISTING CONDITIONS CONSIDERATIONS



square foot studio

154 Krog Street NE
Suite 170
Atlanta, Georgia 30307
404.688.4990 voice
404.688.4992 facsimile
www.squarefootstudio.com

CONSULTANTS

PROJECT TITLE:
**450 HANK AARON DR.
ATLANTA GA 30312**

NOTE:
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PUBLISHED DRAWINGS:

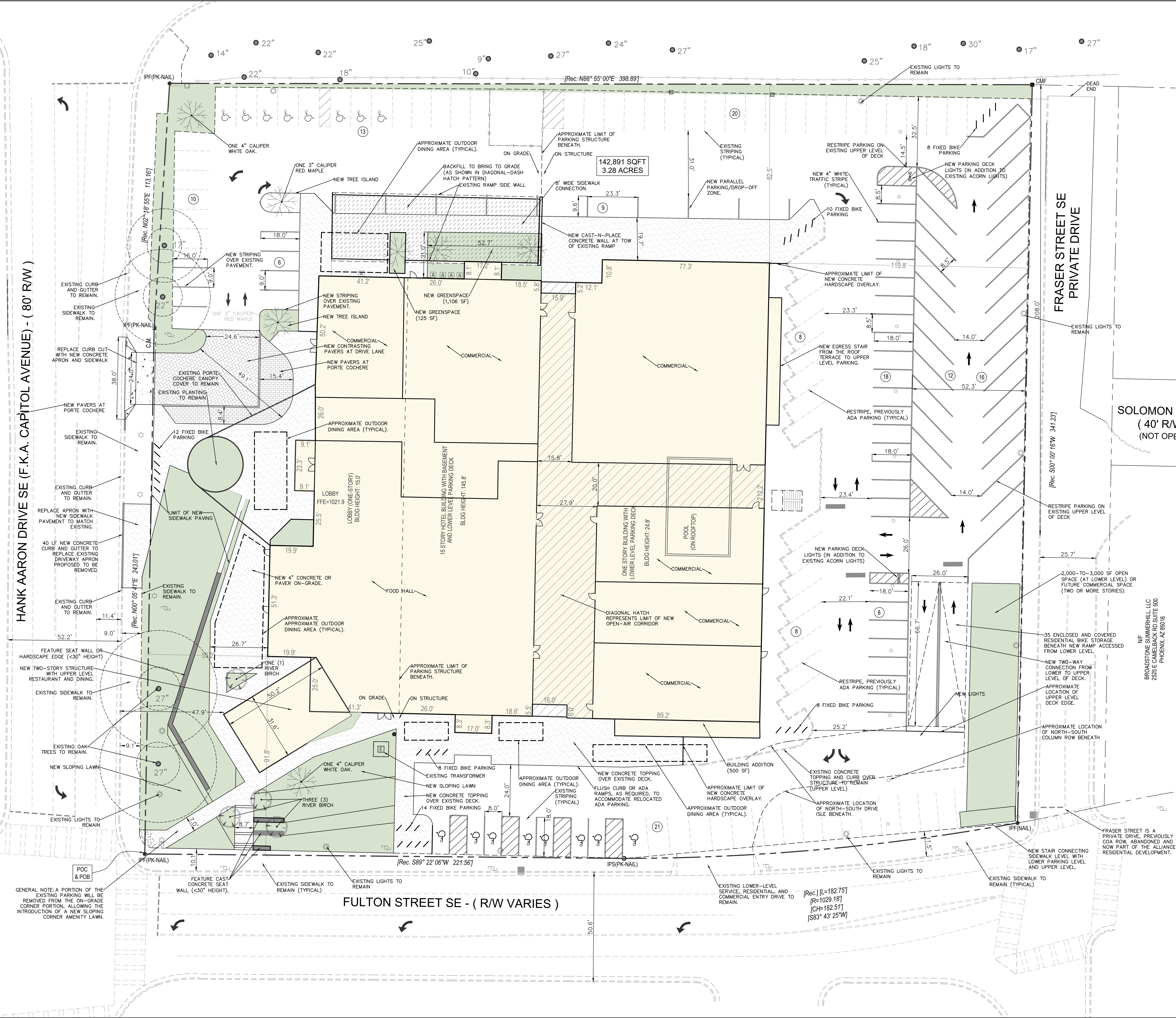
ISSUE	DATE
△ SAP	02.15.21



SHEET TITLE:

SAP SITE PLAN

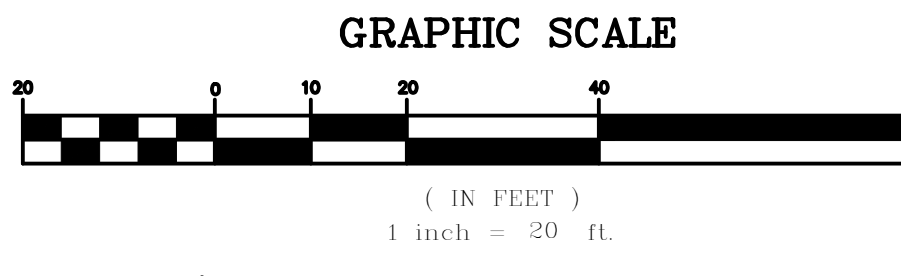
SAP 1.0



SITE DATA SUMMARY
(SEE SAP 2.0 FOR ADDITIONAL DETAIL)

NET LOT AREA: 142,891 SF
GROSS LOT AREA: 170,296 SF
PROPOSED NON-RESIDENTIAL AREA: 64,150
PROPOSED RESIDENTIAL AREA: 115,810 SF
PROPOSED # RESIDENTIAL UNITS: 251
MINIMUM PARKING REQUIRED (WITH EXEMPTION): 0
MAXIMUM PARKING REQUIRED (WITH EXEMPTION): 725
PARKING PROVIDED: 307
RESIDENTIAL FAR ALLOWED: 3.2
NON-RESIDENTIAL FAR PROVIDED: 0.81
NON-RESIDENTIAL FAR ALLOWED: 4.0
NON-RESIDENTIAL FAR PROVIDED: 0.45
ENCLOSED BIKE SPACES REQUIRED: 27
ENCLOSED BIKE SPACES PROVIDED: 39
FIXED BIKE SPACES REQUIRED: 40
FIXED BIKE SPACES PROVIDED: 61
UOS REQUIRED: 57,156 SF
UOS PROVIDED: 51,818 SF (EXISTING CONDITIONS)
MAX BUILDING COVERAGE ALLOWED: 121,457 SF
MAX BUILDING COVERAGE PROVIDED: 48,100 SF

- HATCH LEGEND**
- EARTH FILL OF RAMP
 - OPEN-AIR CORRIDOR
 - NEW 6" CONCRETE
 - SPECIALTY PAVER
 - NEW CONCRETE WALK/OVERLAY
 - BUILDING
 - SITE GREENSPACE



GENERAL NOTE: A PORTION OF THE EXISTING PARKING WILL BE REMOVED FROM THE ON-GRADE CORNER PORTION, ALLOWING THE INTRODUCTION OF A NEW SLOPING CORNER AMENITY LAWN.

POC & POB

CITY COUNCIL
ATLANTA, GEORGIA
Municipal Clerk
Atlanta, Georgia

06-0-0567

AN AMENDED ORDINANCE BY:
ZONING COMMITTEE

Z-06-24

AN ORDINANCE TO REZONE CERTAIN PROPERTIES WITHIN THE SUMMERHILL NEIGHBORHOOD FROM THE R-4B (SINGLE-FAMILY RESIDENTIAL), C-1 (COMMUNITY BUSINESS), C-1-C (COMMUNITY BUSINESS-CONDITIONAL), C-3 (COMMERCIAL RESIDENTIAL), AND C-3-C (COMMERCIAL RESIDENTIAL - CONDITIONAL) TO THE R-4B-C (SINGLE-FAMILY RESIDENTIAL-CONDITIONAL), MR-3-C (MULTI-FAMILY RESIDENTIAL-CONDITIONAL), MRC-1-C (MIXED RESIDENTIAL COMMERCIAL-CONDITIONAL) AND MRC-3-C (MIXED RESIDENTIAL COMMERCIAL-CONDITIONAL) AND FOR OTHER PURPOSES.

NPU-V COUNCIL DISTRICT 1

WHEREAS, the recommendations from the Summerhill Urban Redevelopment Plan land use and zoning update should be implemented; and

WHEREAS, the Summerhill Neighborhood has been working with the Bureau of Planning on the update and supports the City to rezone Summerhill neighborhood to implement the recommendations from the Summerhill Redevelopment Plan land use and zoning update; and

WHEREAS, a diversified urban environment where people can live, work, meet and recreate should be created; and

WHEREAS, a compatible mixture of residential, commercial, and cultural and recreational uses should be provided; and

WHEREAS, the visual aesthetics of the neighborhood and City streets should be improved; and

WHEREAS, the official zoning maps should be amended to include the properties in the Summerhill Neighborhood as shown on "Attachment A" and "Attachment B".

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF ATLANTA, GEORGIA, AS FOLLOWS:

SECTION 1: That the 1982 City of Atlanta Zoning Ordinance be amended and the official zoning maps established in connection therewith be changed to include the

Summerhill Neighborhood Rezoning
City of Atlanta, Department of Planning and Community Development
4/17/2006

Z-06-24

properties located in the Summerhill Neighborhood with the designations as shown on "Attachment A" and "Attachment B" attached.

SECTION 2: This amendment is approved under the provisions of Section 16-02.003 of the City of Atlanta Zoning Ordinance entitled "Conditional Development" as identified with the use of the suffix "C" after the district designation. The Director of the Bureau of Buildings shall issue building permits for the development of the properties with said "Conditional Development" zoning district designation only in compliance with the following conditions:

1) The following conditions apply to all the MRC-3-C districts in the Summerhill Neighborhood:

- The following uses shall require a Special Use Permit:
 - Commercial greenhouses.
 - Childcare and kindergartens.
 - Digital industry switchboards, power generators and other relay equipment and rooms housing such equipment when located on subterranean levels or the second floor above sidewalk level and higher, or on ground floors provided that retail, office, institutional or residential uses are provided for a minimum depth of 20 feet from any building facade along the public sidewalk.
 - Mortuary and funeral homes.
 - Nursing homes, assisted living facilities, personal care homes and rehabilitation centers.
 - Security storage centers less than 7,500 square feet in floor area.
- The following uses are prohibited:
 - Automobile service stations, car washes.
 - Dormitories.
 - Dry-cleaning plants.
 - Group homes.
 - New and used car sales, including motorized vehicles such as mopeds and motorcycles.
 - Park-for-hire surface parking lots.
 - Repair garages, paint and body shops.
 - Rooming houses.
 - Security storage centers greater than 7,500 square feet in floor area.
 - Single room occupancy residences.
 - Truck stops.
- Size of individual retail, restaurant, repair or commercial recreation establishments, and clubs and lodges, shall not exceed 15,000 square feet along Georgia Ave. and Hank Aaron Dr., and 10,000 square feet elsewhere.
- Building facade materials shall consist of the following:
 - Single and Two-family: all exterior facades shall be brick, stone, horizontal wood cladding siding, or horizontal hardiplank (cementitious siding).
 - Multi-family and non-residential:
 - All exterior facades adjacent to or visible from a public street shall be brick, stone, cast stone, true stucco, split-faced concrete, or split-faced brick. Exterior facades not adjacent to a public street may also use concrete masonry units.

Summerhill Neighborhood Rezoning
City of Atlanta, Department of Planning and Community Development
4/17/2006

Z-06-24

2) For the properties between Fraser Street and Martin Street in the MRC-3-C designation:

- Except as provided in Part 1) b, park-for-hire parking decks are prohibited.
- For non-residential uses: Floor Area Ratio (FAR) shall not exceed one (1) times the net lot area.
- For residential uses: Floor Area Ratio (FAR) shall not exceed two (2) times the net lot area or gross land area.
- FAR bonuses are not permitted.
- Maximum Building Height
 - Where the MRC-3-C district adjoins the MRC-1-C district to the north, any structures located less than 30 feet from the building area adjacent to the MRC-1-C district shall be less than 40 feet in height.
 - Transitional height plane applies for structures located at 93, 97, 105 Georgia Ave., and 870 Terry Street, which are adjacent to the R-4B district to the south.
 - Any structure adjacent to Bass Street and Terry Street (Only applies to the portion of Terry Street delineating MRC-3-C district and R-4B district which is less than 30 feet from the building area adjacent to the required sidewalk along either Bass Street or Terry Street shall be less than 40 feet in height. The height of any building or portion of a building beyond 30 feet may extend up to maximum building height of 76 feet.
 - Except as provided in part (i), (ii), and (iii) above, the maximum building height shall be 76 feet.

3) For properties south of Georgia Avenue between Hank Aaron Boulevard and Fraser Street in the MRC-3-C designation:

- Except as provided in Part 1) b, park-for-hire parking decks are prohibited.
- Maximum permitted floor areas without bonuses:
 - For non-residential uses: Floor Area Ratio (FAR) shall not exceed one and one-half (1.5) times the net lot area.
 - For residential uses: Floor Area Ratio (FAR) shall not exceed one (1) times the net lot area or gross land area.
- Maximum floor area with bonuses: Under no circumstances shall the floor area of any development with bonuses exceed an amount equal to five (5) times gross lot area.
 - Affordable Housing Bonus: Developments containing residential uses shall be permitted only a floor area bonus of one-half (0.5) times net lot area or gross land area, with the provision that the minimum percentage of affordable units provided shall meet the MRC district requirements. In addition to the minimum percentage requirements for the number of units, the size of each affordable unit shall not be smaller than the smallest unit for each unit type in the overall development.
 - The Open Space Streets bonus, the Ground-floor Commercial bonus, and the Civic bonus shall not be permitted.
- Maximum Building Height
 - Any structure adjacent to Georgia Avenue which is less than 30 feet from the building area adjacent to the required sidewalk along Georgia Avenue shall be less than 76 feet in height.
 - Any structure adjacent to Fraser Street which is less than 30 feet from the building area adjacent to the required sidewalk along Fraser Street shall be less than 40 feet in height. The height of any building or portion of a building beyond 30 feet and less than 60 feet shall be less than 76 feet. The height of any building or portion of a building beyond 60 feet may extend up to maximum building height of 104 feet.

Summerhill Neighborhood Rezoning
City of Atlanta, Department of Planning and Community Development
4/17/2006

Z-06-24

iii. Except as provided in part (i), and (ii) above, the maximum building height shall be 104 feet.

4) For properties in the MRC-1-C designation:

- The following uses shall require a Special Use Permit:
 - Commercial greenhouses.
 - Childcare and kindergartens.
 - Digital industry switchboards, power generators and other relay equipment and rooms housing such equipment when located on subterranean levels or the second floor above sidewalk level and higher, or on ground floors provided that retail, office, institutional or residential uses are provided for a minimum depth of 20 feet from any building facade along the public sidewalk.
 - Mortuary and funeral homes.
 - Nursing homes, assisted living facilities, personal care homes and rehabilitation centers.
 - Security storage centers less than 7,500 square feet in floor area.
- The following uses are prohibited:
 - Automobile service stations, car washes.
 - Dormitories.
 - Dry-cleaning plants.
 - Group homes.
 - New and used car sales, including motorized vehicles such as mopeds and motorcycles.
 - Park-for-hire surface parking lots.
 - Park-for-hire parking decks.
 - Repair garages, paint and body shops.
 - Rooming houses.
 - Security storage centers greater than 7,500 square feet in floor area.
 - Single room occupancy residences.
 - Truck stops.
- Size of individual retail, restaurant, repair or commercial recreation establishments, and clubs and lodges, shall not exceed 15,000 square feet along Hank Aaron Dr., and 10,000 square feet elsewhere.
- Building facade materials shall consist of the following:
 - Single and Two-family: all exterior facades shall be brick, stone, horizontal wood cladding siding, or horizontal hardiplank (cementitious siding).
 - Multi-family and non-residential:
 - All exterior facades adjacent to or visible from a public street shall be brick, stone, cast stone, true stucco, split-faced concrete, or split-faced brick. Exterior facades not adjacent to a public street may also use concrete masonry units.
 - The maximum building height shall be 52 feet except for where height is limited based on distance from certain zoning districts.

5) For properties in the MR-3-C designation:

Maximum Building Height: Any structure adjacent to either Fraser or Ormond Street which is less than 30 feet from the building area adjacent to the required sidewalk along either Fraser or Ormond Street shall be less than 40 feet in height. The height of any building or portion of a building beyond 30 feet may extend up to maximum building height of 52 feet.

Summerhill Neighborhood Rezoning
City of Atlanta, Department of Planning and Community Development
4/17/2006

Department of
CITY PLANNING

Office of Zoning and Development
55 Trinity Avenue, Suite 3350
Atlanta, Georgia 30303
Tel. 404.330.6145
Fax: 404.658.7491

ZONING VERIFICATION LETTER
ZVL-20060037

This is to advise that the property known as, 450 Capitol Ave SE located in Land Lot 53 of the 14 Land District, Fulton County, Georgia is zoned:

Zoning 1: MRC-3-C MIXED RESIDENTIAL COMMERCIAL CONDITIONAL DISTRICT REGULATIONS
(Rezoning Legislation 06-0-0567)

according to records available to the Office of Zoning and Development.
Comments: PARCEL #14 00530004209

Lamosley
Zoning Official Signature
Larissa Mosley

September 18, 2020
Date

This zoning verification letter is not an official document if it does not have a seal and signature from a City of Atlanta official.
ZVL-20060037

Z-06-24

5) For properties in the R-4B-C designation in Summerhill Neighborhood:

- The minimum width of a house shall be 20 feet as measured from the exterior of the side walls. The side walls shall be the walls that are perpendicular to and attached to the wall in which the primary entrance is located.
- The primary pedestrian entrance of the principal structure shall face and be visible from a public or private street.
- Garages attached to the principal structure shall be recessed a minimum of 5 feet from the street-facing facade. Such garages shall not comprise more than 50% of the width of the ground floor of the building's street-facing facade.
- Detached accessory structures, such as carriage houses, smoke houses, tenant and alley houses, private garages, carports, and mechanical equipment shall be located to the side and/or rear of the principal structure within the buildable area of the lot and shall be set back a minimum of 15 feet from the street-facing facade of the principal structure. Mechanical equipment shall be screened with plant or fence materials from view of any public street.
- No parking pad is allowed between the front of the principal structure and the public street.
- When no attached or detached garages are built, solid paved driveway shall extend at least 20 feet beyond the street-facing front facade and have a maximum width of 10 feet in the front yard; if a driveway is built less than 20 feet beyond the front facade, it shall be ribbon driveway that consists of two paved strips with a grass strip between them. The paved strips shall be no more than 30 inches wide, and the grass strip shall be at least 4 feet wide. No portion of the ribbon driveway pavement shall be farther than 10 feet from one of the side property lines.
- Any facades that face a public or private street shall consist of fenestration that is no less than 20 percent and no greater than 40 percent of the total surface wall area. Windows may be individual or grouped. No individual window unit shall exceed 28 square feet. Within each individual window unit, no individual window sash, either fixed or operable, shall exceed 16 square feet.
- Roof of the principal structure shall be gabled and/or hipped. Roof pitch shall be a minimum of 6 in 12. Roof pitch above porches shall not be restricted.
- Any portion of a chimney that is located on any facade that faces a public or private street shall originate at grade.
- Foundations:
 - The first floor of the principal structure shall be on foundations and elevated above the grade between one and one half (1.5) and four (4) feet, unless existing topography is greater, as measured at the front facade of the structure. Sub-grade construction is not permitted. All foot steps shall have closed risers and closed ends, and shall not use wood material. Access ramps shall be permitted.
 - Foundations shall constitute a district building design element and shall contrast with the front facade material when hardiplank or horizontal wood siding are used. Brick, stone, or true stucco shall be permitted. Standard, unfinished concrete block and stacked stone is prohibited.

Section 3: That all ordinances or parts of ordinances in conflict with this ordinance shall be repealed.

Summerhill Neighborhood Rezoning
City of Atlanta, Department of Planning and Community Development
4/17/2006

A true copy,
Rhonda Dunning Johnson
Municipal Clerk, CMC

ADOPTED & amended by Council
APPROVED by the Mayor

May 1, 2006
May 8, 2006

Z-06-24

ATTACHMENT 'A'

City of Atlanta Bureau of Planning
March 2006

ATTACHMENT 'A' Z-06-24
SUMMERHILL REZONING
NPU-V, COUNCIL DISTRICT 1

Legend:
Zoning change
Highway
Summerhill Boundaries
Parcels

Summerhill Neighborhood Rezoning
City of Atlanta, Department of Planning and Community Development
4/17/2006

Z-06-24

Attachment 'B'

Area	Address	Zoning From	Zoning To
1	24, 44, 46, 50, 727, 755, 777 Hank Aaron Blvd., 28 and 617 Ralph D. Abernathy Blvd., 711, 750, 818, 827 Washington Street	C-3	MRC-3-C ¹
2	Odd addresses from 77 Glenn St. to 107 Glenn St. Even addresses from 616 Fraser St. to 634 Fraser Street. Odd addresses from 618 Reed St. to 628 Reed St. Even addresses from 618 Reed St. to 632 Reed St. 631 Martin St.	C-1	MRC-1-C
3	Odd addresses from 630 Reed St. to 666 Reed St. Even addresses from 636 Reed St. to 640 Reed St. Odd addresses from 58 Georgia Ave. to 80 Georgia Ave. Even addresses from 58 Georgia Ave. to 104 Georgia Ave. Even addresses from 840 Fraser St. to 866 Fraser St.	C-1	MRC-3-C ²
4	Odd addresses from 93 Georgia Ave. to 105 Georgia Ave. 870 Terry St.	C-1	MRC-3-C ²
5	Even addresses from 674 Reed St. to 686 Reed St. Even addresses from 58 Bass St. to 82 Bass St. Even addresses from 680 Fraser St. to 686 Fraser St. Odd addresses from 675 Terry St. to 689 Terry St.	R-4B	MRC-3-C ²
6	Odd addresses from 688 Fraser St. to 706 Fraser St. 735, 737 Fraser St. Odd addresses from 711 Fraser St. to 731 Fraser St. (Front)	R-4B	MRC-3-C ²
7	Odd addresses from 753 Fraser St. to 823 Fraser St. Odd addresses from 26 Ormond St. to 44 Ormond St. Odd addresses from 26 Little St. to 28 Little St. Even addresses from 26 Little St. to 30 Little St.	R-4B	MR-3-C
8	20 Ormond St.	R-4B	MRC-1-C
9	Even addresses from 794 Hank Aaron Blvd. to 834 Hank Aaron Blvd. 18 Ormond St. 19 Little St.	C-1-C C-1-C	MRC-1-C MRC-1-C
10	158 Hank Aaron Blvd.	C-1-C C-3-C	MRC-3-C ² MRC-3-C ²
11	Even addresses from 702 Hank Aaron Blvd. to 738 Hank Aaron Blvd. Odd addresses from 19 Bass St. to 31 Bass St. Even addresses from 18 Bill Lucas Dr. to 32 Bill Lucas Dr. Odd addresses from 711 Fraser St. to 731 Fraser St. (Rear)	C-1	MRC-3-C ²
12	Even addresses from 670 Hank Aaron Blvd. to 686 Hank Aaron Blvd. Odd addresses from 671 Fraser St. to 695 Fraser St. Even addresses from 20 Bass St. to 30 Bass St. Odd addresses from 13 Georgia Ave. to 38 Georgia Ave.	C-1	MRC-3-C ²
13	All the R-4B zoned properties in Summerhill Neighborhood	R-4B	R-4B-C

¹ MRC-3-C area west of Fraser Street from 120 to Georgia Avenue and MRC-3-C area east of Hank Aaron Boulevard from Georgia Ave. to Ormond Street
² MRC-3-C area between Fraser Street and Martin Street
³ MRC-3-C area south of Georgia Avenue between Hank Aaron Boulevard and Fraser Street

Summerhill Neighborhood Rezoning
City of Atlanta, Department of Planning and Community Development
4/17/2006

ZONING
MRC-3-C: High density commercial and residential uses along major corridors intended to serve larger areas of the city, and provide larger commercial uses with a significant employment concentration. CONDITIONS: PER Z-06-24.

LOT	SF	AC
NET LOT AREA	142,891	3.28
GROSS LOT AREA	170,296	3.91

NON-RESIDENTIAL USES	NON-RES PARKING REQUIREMENT, PRIOR TO APPLYING EXEMPTION			
	GROUND FL.	SECOND FL.	TOTAL	RATIO
COWORKING-OFFICE	0	12,400	12,400	NONE
FOOD HALL (EATING AND DRINKING ESTABLISHMENT)	13,200	2,600	15,800	1/600 SF
RESTAURANT (EATING AND DRINKING ESTABLISHMENT)	6,250	0	6,250	1/600 SF
FITNESS (COMMERCIAL RECREATION)	3,000	0	3,000	1/200 SF
MERCHANTILE (OTHER NON-RES)	7,300	0	7,300	1/600 SF
MUSIC VENUE (ASSEMBLY)	7,000	0	7,000	1/35 SF
OUTDOOR DINING (LESS THAN 25% OF TOTAL)	4,200	1,500	5,700	NONE
POOL CLUB/BAR (EATING AND DRINKING ESTABLISHMENT)	0	5,700	5,700	1/600 SF
		1,000	1,000	1/600 SF
			64,150	275

RESIDENTIAL TOWER, LEVELS 3-15	TYPE	#UNITS
	MICRO STUDIO	112
	STANDARD STUDIO	43
	1 BR	88
	2 BR	4
	PENTHOUSE	4
	TOTAL UNITS	251
	TOTAL SF	115,810
	REQ'D RES PARKING 0.93/UNIT (@ FAR 0.81) PRIOR TO APPLYING EXEMPTION	228

PARKING SUMMARY

THE PROPERTY IS LOCATED 2,350 FT FROM HIGH CAPACITY MARTA TRANSIT, EXEMPTION SEC. 16-28.014 (14) APPLIES TO THE MINIMUM AND MAXIMUM OFF-STREET PARKING

MINIMUM RES PARKING REQUIRED (PRIOR TO APPLYING EXEMPTION)	228
MINIMUM NON-RES PARKING REQUIRED (PRIOR TO APPLYING EXEMPTION)	275
MAXIMUM RESIDENTIAL (WITH EXEMPTION) [(1.25X243)+(2X8)]	320
MAX. OFFICE PARKING, NOT OTHERWISE REQUIRED (WITH EXEMPTION) (3/1000 SF)	37
MAX. NON-RES, NON-OFFICE, PARKING (WITH EXEMPTION) (275*1.25)	344
TOTAL MAX NON-RESIDENTIAL PARKING (WITH EXEMPTION)	381
TOTAL RESIDENTIAL PLUS NON-RESIDENTIAL MAX. PARKING (WITH EXEMPTION)	725
LOWER LEVEL PARKING PROVIDED	168
UPPER LEVEL PARKING PROVIDED	139
TOTAL PARKING PROVIDED	307
ALT.FUEL VEHICLE CHARGING STATIONS SPACES REQ'D/PROVIDED (1 PER 100)	3

FAR	RATIO	SF
FAR ALLOWED, RES	3.20	457,251
FAR ALLOWED, NON-RES	4.00	571,564
FAR ALLOWED, COMBINED	7.20	1,028,815
FAR PROVIDED, RES	0.81	115,810
FAR PROVIDED, NON-RES	0.45	64,150

BIKE PARKING REQUIREMENTS	MIN	MAX	# SPACES REQ'D.	# SPACES PROVIDED
ENCLOSED RES	1 PER 10 UNITS	50	25	35
FIXED RES	1 PER 10 UNITS	50	25	35
FIXED OFFICE	1 PER 8,000 SF	50	2	6
ENCLOSED OFFICE	1 PER 8,000 SF	50	2	4
FIXED OTHER NON-RES	1 PER 4,000 SF	50	13	20
ENCLOSED OTHER NON-RES	NONE	50	0	0
				100

OPEN SPACE REQUIREMENTS	MIN	SF MIN	SITE PROVIDED	ROOF LEVEL PROVIDED	TOTAL PROVIDED
PUBLIC SPACE	20%	28,578	SEE UOSR	SEE UOSR	SEE UOSR
TOSR	NONE	0	0	0	0
UOSR (USING FAR 0.81)	0.4	57,156	44,136	7,682	51,818

	MAX	SF MAX	SF PROVIDED
MAX BUILDING COVERAGE	85%	121,457	48,100



square foot studio

154 Krog Street NE
Suite 170
Atlanta, Georgia 30307
404.688.4990 voice
404.688.4992 facsimile

www.squarefootstudio.com

CONSULTANTS

PROJECT TITLE:
450 HANK AARON DR.
ATLANTA GA 30312

NOTE:
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PUBLISHED DRAWINGS:

ISSUE	DATE
△ SAP	02.15.21

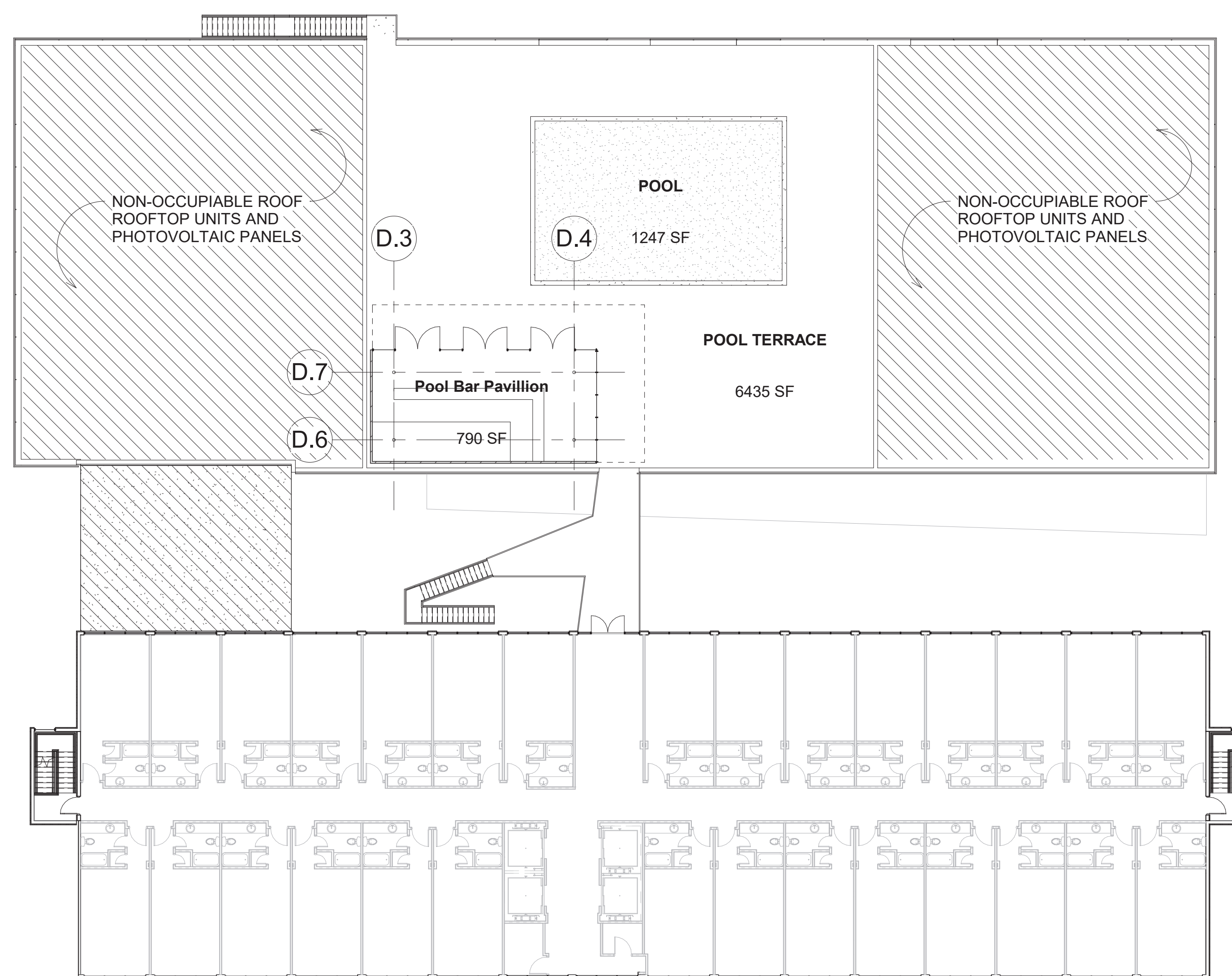


SHEET TITLE:

SAP LAND USE CALCULATIONS

SAP 2.0

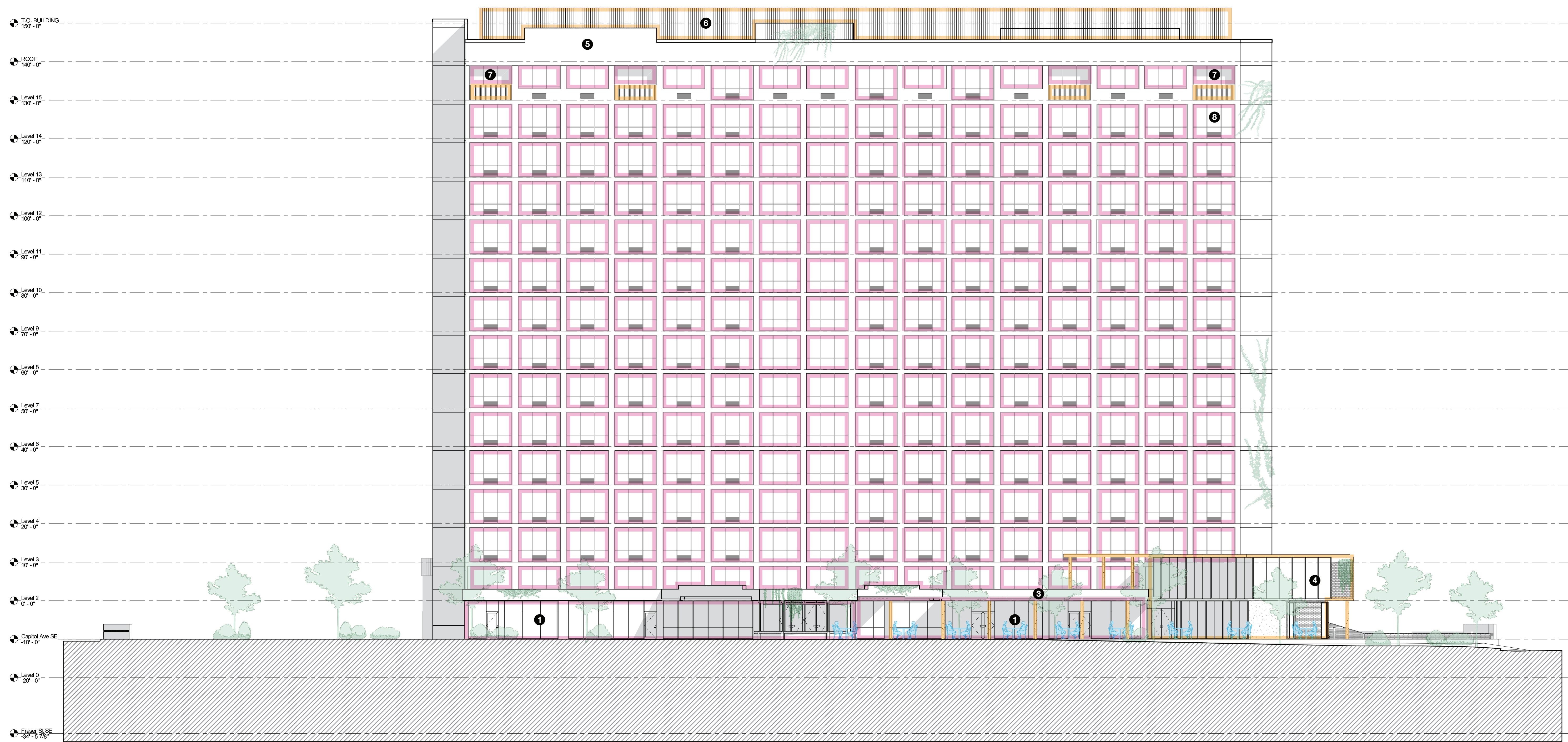
RELEASED FOR CONSTRUCTION



1 Roof Terrace
A.01 1/16" = 1'-0"



ROOF TERRACE PLAN USED IN CALCULATING UOSR



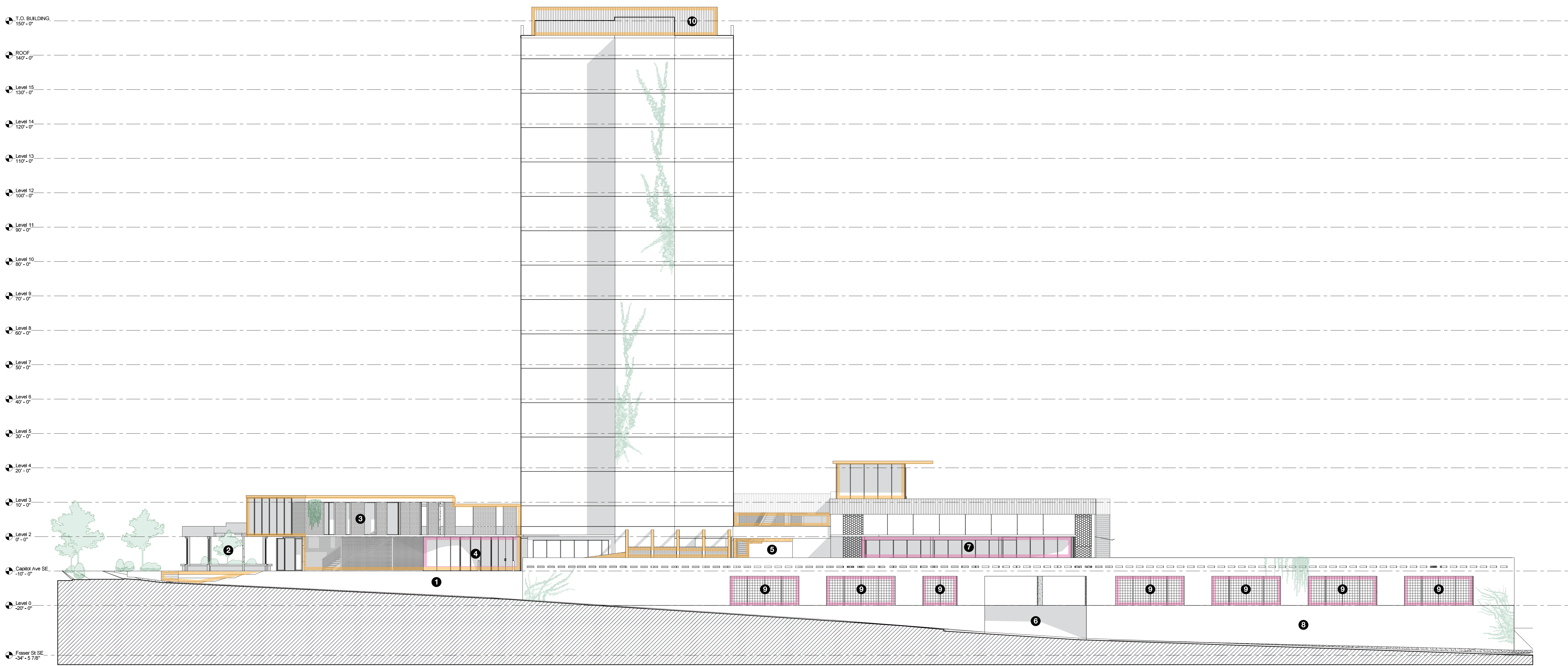
WEST ELEVATION (HANK AARON DRIVE / CAPITOL AVENUE)

- 1. NEW STOREFRONT AT EXISTING STOREFRONT LOCATIONS
- 2. EXISTING PORTE COCHERE TO REMAIN AT OUTDOOR DINING
- 3. NEW SHADE STRUCTURE AT OUTDOOR DINING
- 4. NEW SECOND FLOOR RESTAURANT
- 5. NEW SIGNAGE AT EXISTING SIGNAGE LOCATION
- 6. METAL SCREEN AT ROOFTOP
- 7. NEW RECESSED PATIO IN EXISTING WINDOW OPENING
- 8. NEW WINDOWS, TYPICAL



- NEW CONSTRUCTION
- FACADE ALTERATION

FENESTRATION:
 REQUIRED: 75%
 EXISTING: 87%
 PROPOSED: 88%



SOUTH ELEVATION (FULTON STREET)

- 1. NEW SOFT AND HARDSCAPE ON RE-GRADED CORNER FOR PEDESTRIAN USE/ACCESS
- 2. NEW COVERED OUTDOOR DINING
- 3. NEW SECOND-STORY RESTAURANT
- 4. NEW STOREFRONT AT FOOD HALL ENTRY
- 5. NEW OPENING TO OUTDOOR CORRIDOR
- 6. EXISTING LOWER DECK LOADING AND PARKING ACCESS TO REMAIN
- 7. NEW STOREFRONT IN FORMER BALLROOM WALL

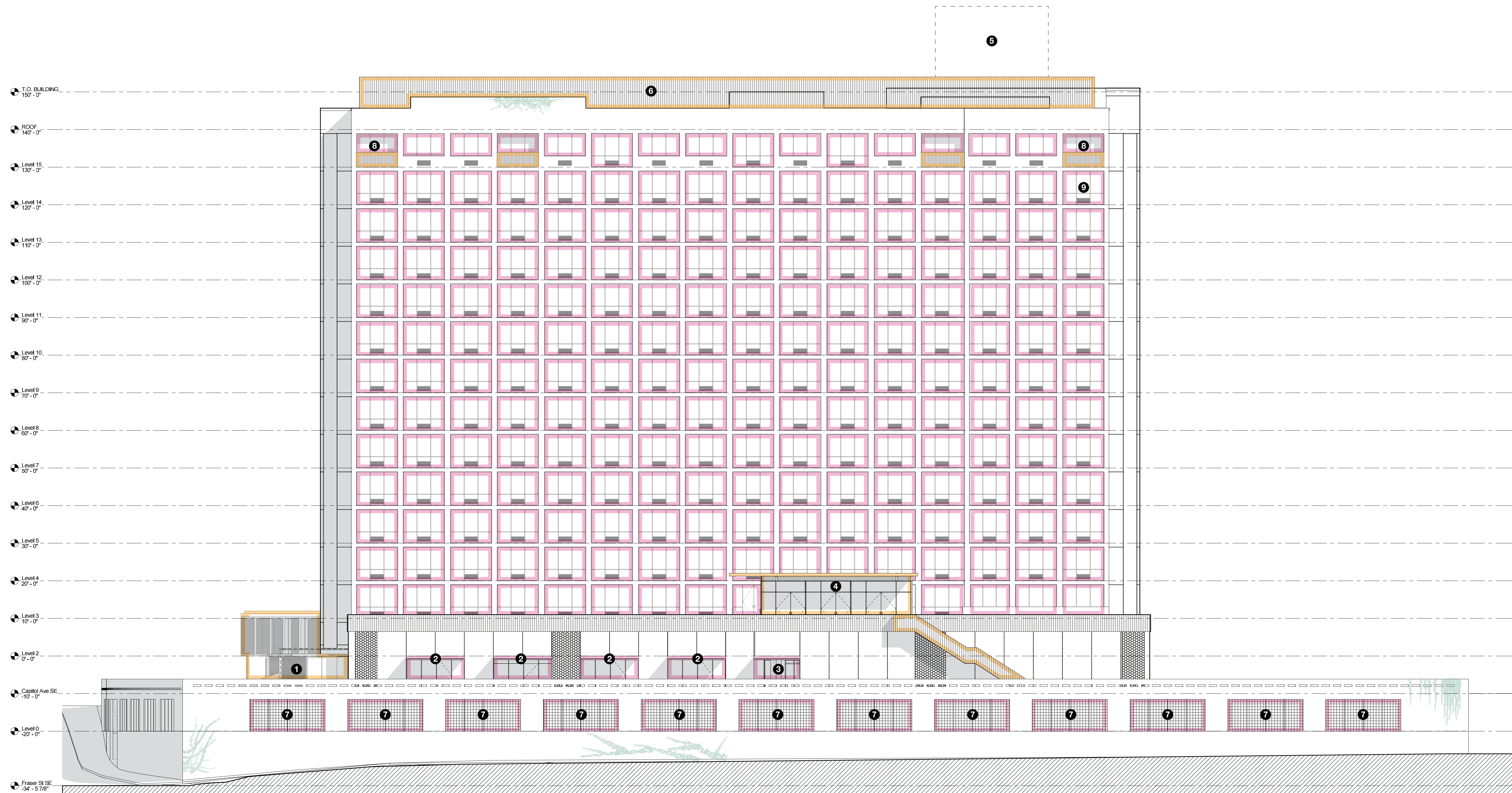
- 8. NEW MURAL ON EXISTING PARKING DECK WALL
- 9. METAL SCREEN AT ROOFTOP
- 10. NEW METAL MESH OR PERFORATED PANELS



- NEW CONSTRUCTION
- FACADE ALTERATION

FENESTRATION:

REQUIRED:	75%
EXISTING:	9%
PROPOSED:	68% (EXISTING SHEAR WALLS LIMIT ADDITIONAL FENESTRATION)

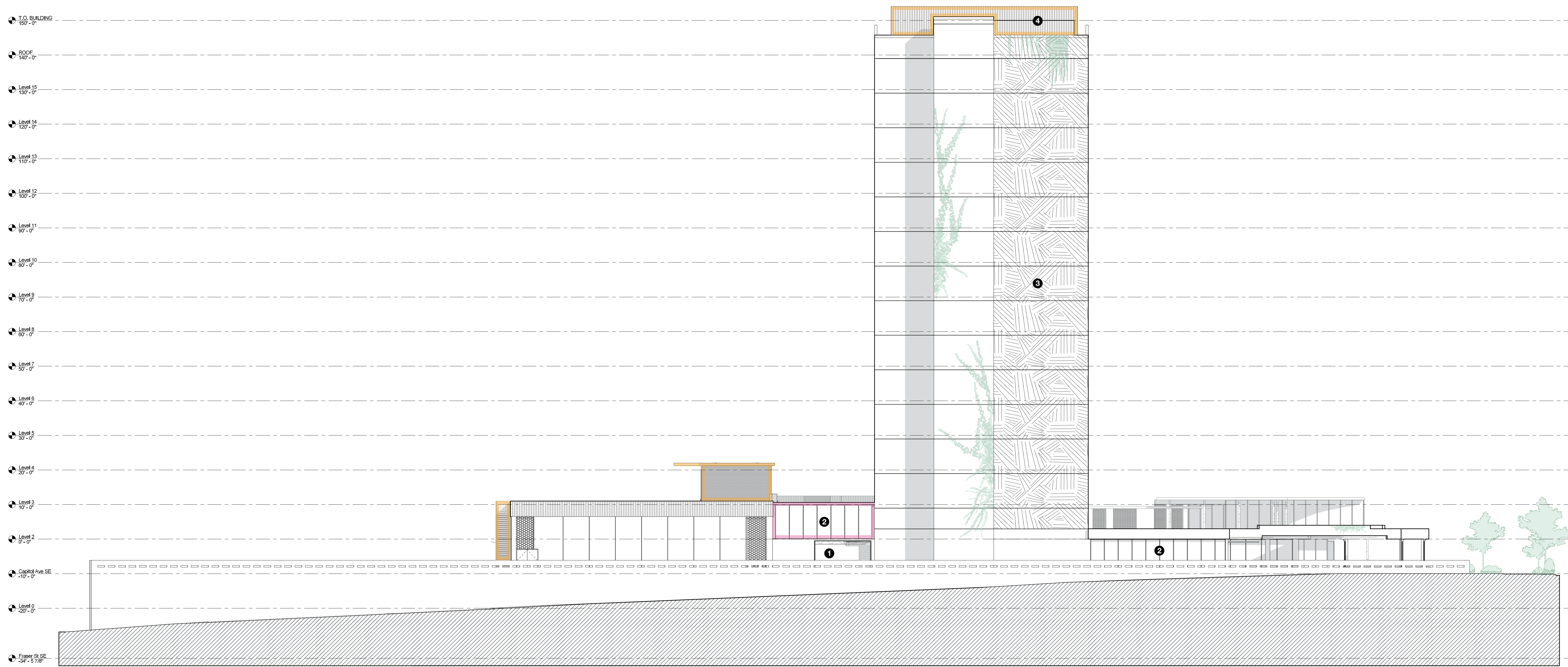


EAST ELEVATION (PRIVATE DRIVE)

1. EXPANDED FOOTPRINT AT RESTAURANT
2. NEW STOREFRONT AND AWNING AT FORMER BALLROOMS
3. NEW OPENING TO OUTDOOR CORRIDOR
4. NEW PAVILION AT POOL DECK
5. NEW SIGNAGE
6. METAL SCREEN AT ROOFTOP
7. NEW METAL MESH OR PERFORATED PANELS
8. NEW RECESSED PATIO IN EXISTING WINDOW OPENING
9. NEW WINDOWS, TYPICAL



- NEW CONSTRUCTION
- FACADE ALTERATION



NORTH ELEVATION (1-20)

- 1. NEW OPENING TO OUTDOOR CORRIDOR
- 2. NEW STOREFRONT
- 3. NEW MURAL/BRANDING
- 4. METAL SCREEN AT ROOFTOP



- NEW CONSTRUCTION
- FACADE ALTERATION